

An architectural rendering of a modern residential and commercial complex. The scene features a multi-story apartment building with orange and blue accents, a brick commercial building with a 'Viva' sign, and a central courtyard with a tiered fountain, wooden barrels, benches, and people. A large palm tree stands in the background. A white diagonal line cuts across the image from the bottom left to the top right.

# *West 192 Design Guidelines*

REFERENCE BOOK | APRIL 2022





**Setting the Stage**

**1-1**

**Design**

**2-1**

**Signage**

**3-1**

**Change of Use**

**4-1**

**Appendix**

**A-1**

# *Contents*





*Setting the  
Stage*

# W192 CORRIDOR

## *Goals and Objectives*

### Introduction

Osceola County and the W192 Development Authority have developed a comprehensive set of design guidelines for streetscape, building, signage, and change of use for all properties fronting Irlo Bronson Memorial Highway within the West U.S. 192 Corridor Community Redevelopment Area (W192 CRA). Specific regulatory standards within the Land Development Code were adopted by the Board of County Commissioners on February 17, 2020, via [Ordinance #2020-21](#); November 1, 2021, via [Ordinance #2021-78](#), and November 15, 2021, via [Ordinance #2021-75](#)

The next few pages describe the project approach and schedule as well as specific guidelines for each of the eight corridor segments. An appendix at the end of the document provides an overview of the methodology, guidance, and inspiration that gave form to the overall themes and design elements.

### Project Goals

- » Develop distinct themes for each of the eight corridor segments through a process evolving over several months and including a variety of stakeholders.
- » Illustrate the resulting themes in a comprehensive design guidelines document to describe the streetscape, buildings, and signage.
- » Update the relevant Land Development Code sections with standards for implementation of the design themes.
- » Develop code-based graphics to support the new standards.
- » Develop design guidelines and code standards concurrently to ensure overall coordination and consistency between documents.
- » Support both residential and non-residential uses within the W192 Corridor.
- » Establish suitable regulations to allow changes of use from non-residential to residential to ensure the health, safety and welfare of residents and tourists.

Note: This document is for information and summary purposes only. This document does not preclude the [Osceola County Land Development Code](#). All development submittals are required to abide by those standards and relevant building and land use code sections.

## Design Principles

- » Provide distinct and complimentary themes targeted to the user experience.
- » Build on the guidance from the W192 Redevelopment Plan, existing Segment 2, 5, and 6 designs, commercial center and CT standards, and the approved median improvements as well as all other existing improvements along the corridor.
- » Provide complimentary designs on both sides of the street with vantage points for traveling via vehicle, transit or on foot.
- » Create designs that support existing catalyst development and spin off businesses.
- » Provide flexibility in design to accommodate future technology related to smart cities, transportation, signage, etc.
- » Enhance the pedestrian environment.
- » Expand upon currently adopted design palettes to provide flexibility to address seasons and color.
- » The base median treatment design is complete, and the current six-lane roadway configuration will remain. No lane expansion or contraction is being contemplated.

# W192 CORRIDOR

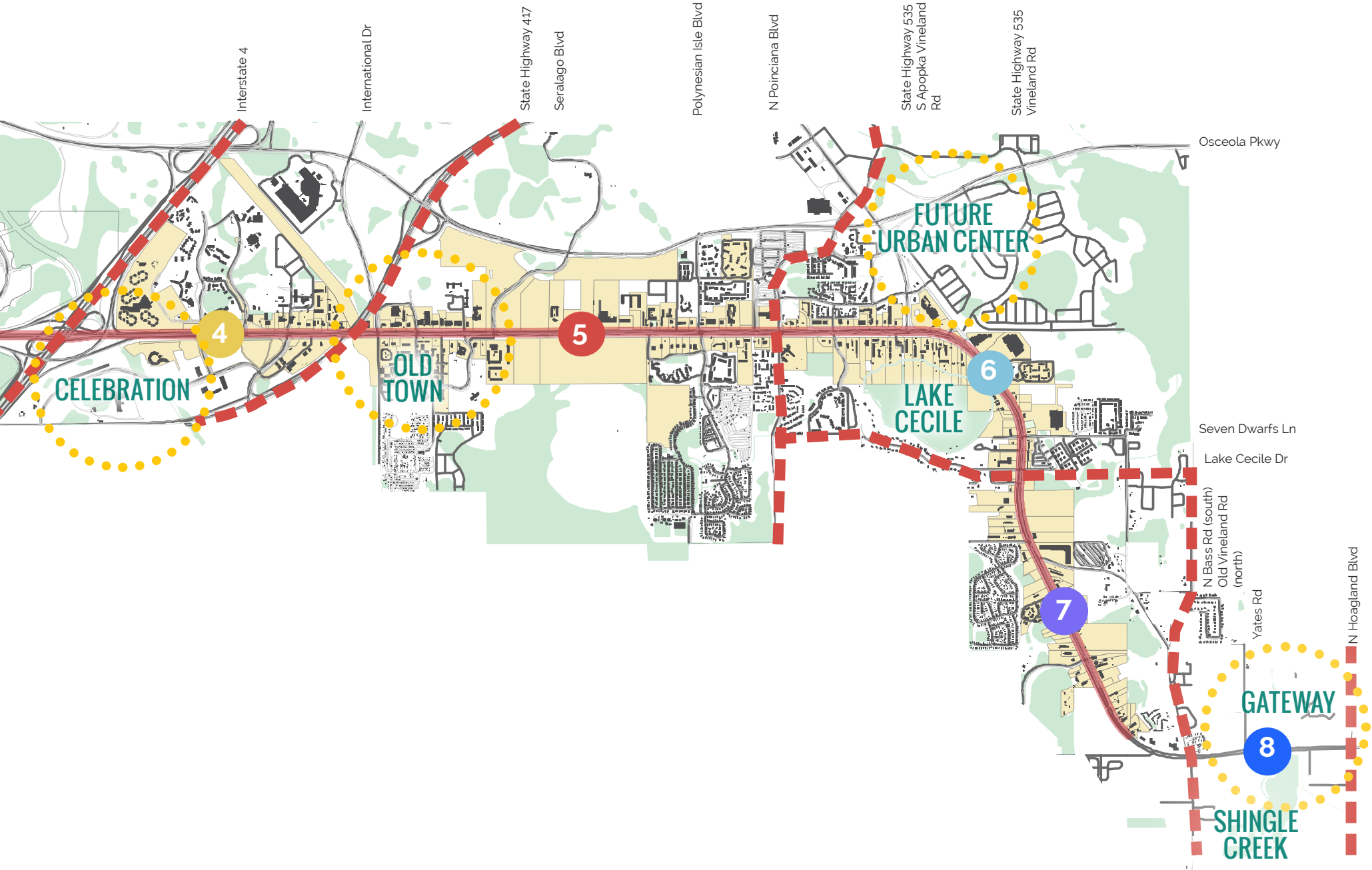
## Corridor Map



- 1 Four Corners (County Line to SR 429)
- 2 Paradise (SR 429 to Formosa Gardens Blvd)
- 3 Imagination (Formosa Gardens Blvd to Reedy Creek Blvd)

- 4 Celebration (Interstate 4 to SR 417)
- 5 Entertainment (SR 417 to Poinciana Blvd)
- 6 Lake District (Poinciana Blvd to Lake Cecile Dr)
- 7 Neighborhood (Lake Cecile Dr to Bass Rd)
- 8 Creek District (Bass Rd to Hoagland Blvd)

- Parcels Directly Affected by Design Guidelines
- Areas of Influence







# *Design Guidelines*

# W192 CORRIDOR

## *Design Guidelines Organization*

### New Land Development Code

- » New standards are located in the [Land Development Code Chapter 3](#), Article 3.16 West U.S. 192 Development Authority Corridor
- » New standards will be organized as follows:

#### GENERAL PROVISIONS

- » Relationship to Other LDC Chapters
- » Purpose
- » Implementation

#### GENERAL DESIGN STANDARDS FOR ALL SEGMENTS

- » Streetscape
- » Signage (see separate chapter)
- » Streetscreen
- » Utilities
- » Parking and Drive-Through Orientation
- » Building Form
- » Building Articulation
- » Roof Modulation
- » Build to Line (BTL)
- » Hotel Conversion (see separate chapter)

#### STANDARDS SPECIFIC TO INDIVIDUAL SEGMENTS

- » Location
- » Theme
- » Site Furnishings
- » Public Spaces



**PUBLIC AMENITIES**



**LANDSCAPE**



**BUILDINGS**

# General Design Guidelines

## SIDEWALK AND INTERSECTIONS WITHIN W192 ROW

- » Continue the 10'-wide, colored W192 sidewalk per code specifications



## BUILDING ARTICULATION AND PARKING

- » Articulation elements shall vary to reduce building mass and break up continuous wall surfaces
- » W192 fronting buildings shall have parking at rear or side



## LIGHTING

- » Continue use of existing pedestrian lights
- » Replace street lights with new design shown below
- » Replace all purple poles with black



## PALM TREES

- » Existing palm trees within the W192 ROW to be replaced with clusters of Sabal Palms in conjunction with other shade and ornamental trees for a unified streetscape.

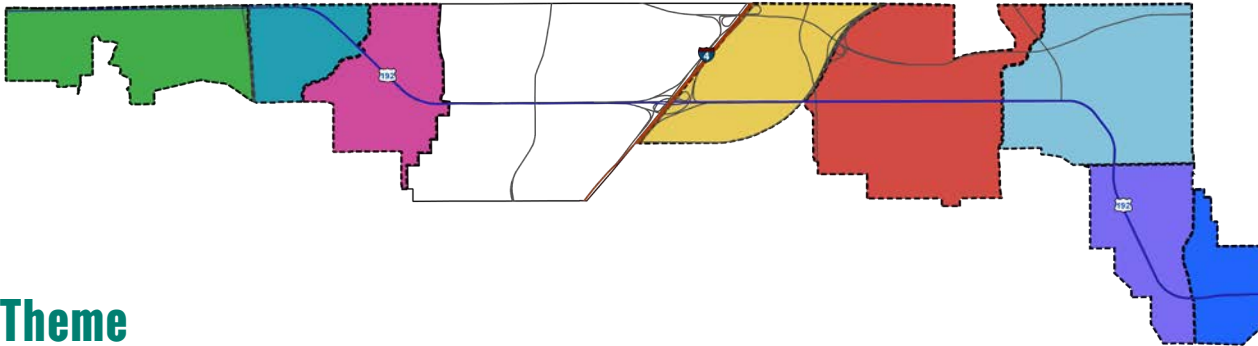


# Segment 1

## Four Corners

### Area

Osceola County line to State Road 429



### ENVISIONED USES

- Single-Family
- Multifamily (Small Scale)
- Mixed-Use
- Restaurant
- Office

### Theme

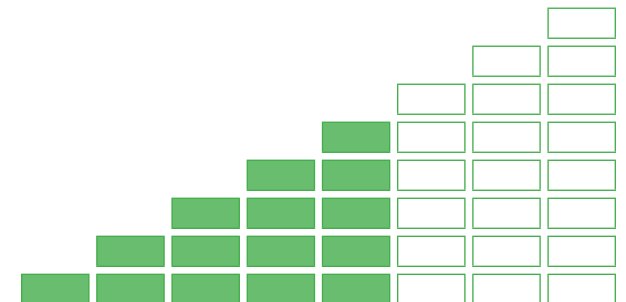
- » The gateway to the W192 Corridor and provides connection to Polk, Orange, and Lake Counties
- » An eclectic mix of buildings indicative of the architectural styles of Central Florida
- » Simple, green landscape characterized by shade trees and broad sweeping lawns interspersed with organically-shaped planting beds of small shrubs and ornamental grasses
- » Landscape Forms "Chase Park" bench and litter receptacle in grey

### ENVISIONED BUILDING SETBACKS

0-40'

### ENVISIONED BUILDING HEIGHT

(Five story maximum)



### Inspiration



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Silver Buttonwood



Sabal Palm

### GROUNDCOVER



Asiatic Jasmine



Cast Iron Plant

### ORNAMENTAL GRASSES



Muhly Grass



Florida Gamagrass

### SHRUBS



Light Colored Azalea



Caroline Allspice

### PERENNIALS/ANNUALS



Variegated Century  
Plant



Bromeliad Aechmea  
Distichantha



Coleus (Lime Time)

# Segment 1

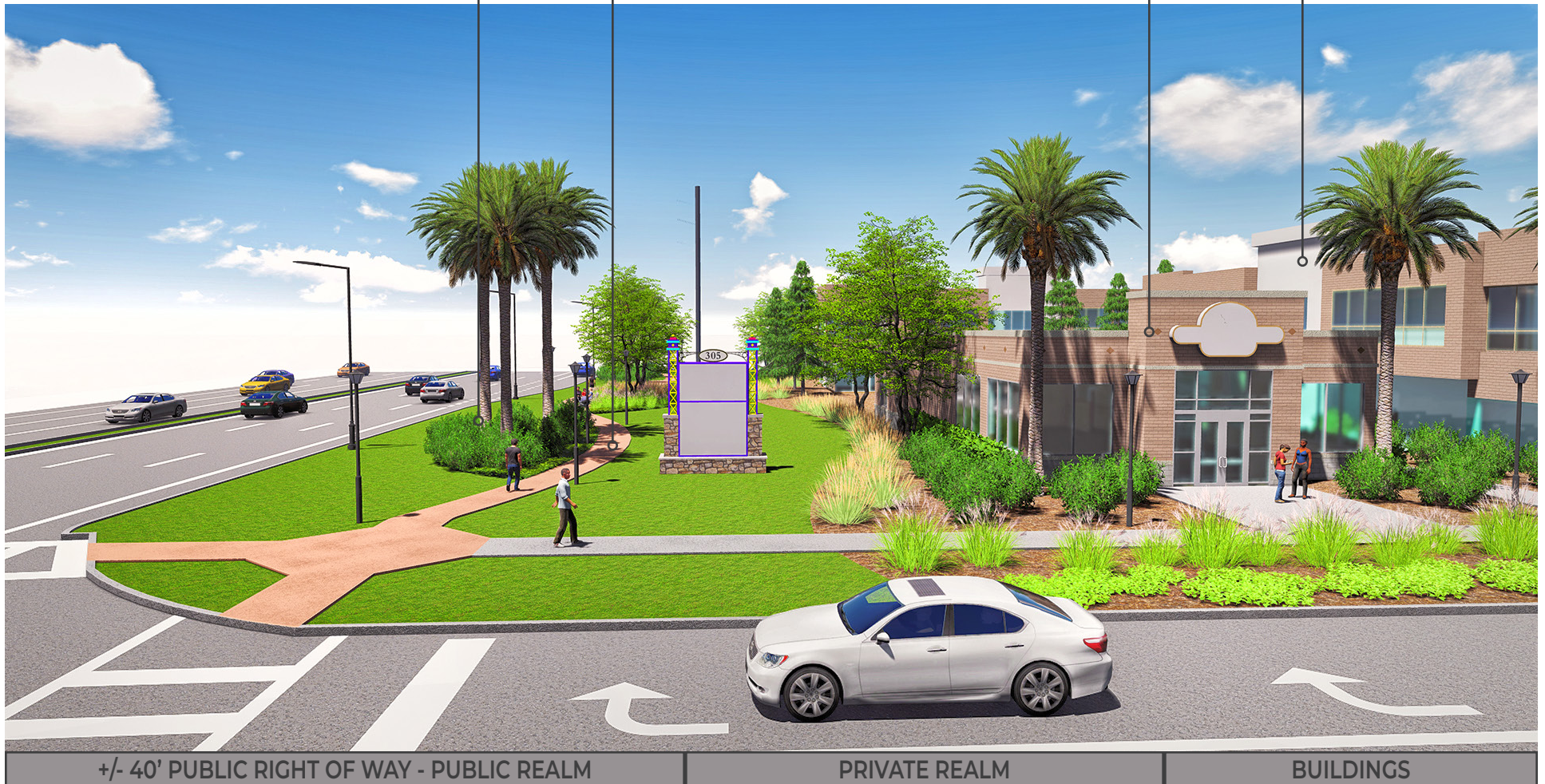
## Four Corners

Standard W192, 10'-wide, meandering, colored concrete sidewalk

Simple, green planting pockets along sidewalk

One- to two-story buildings with articulation along W192 for visual interest

Buildings oriented toward W192 with parking behind or to the side



Green pockets  
of planting

Landscape Forms "Chase  
Park" bench and litter/  
recycling receptacle

Standard W192  
pedestrian light fixture

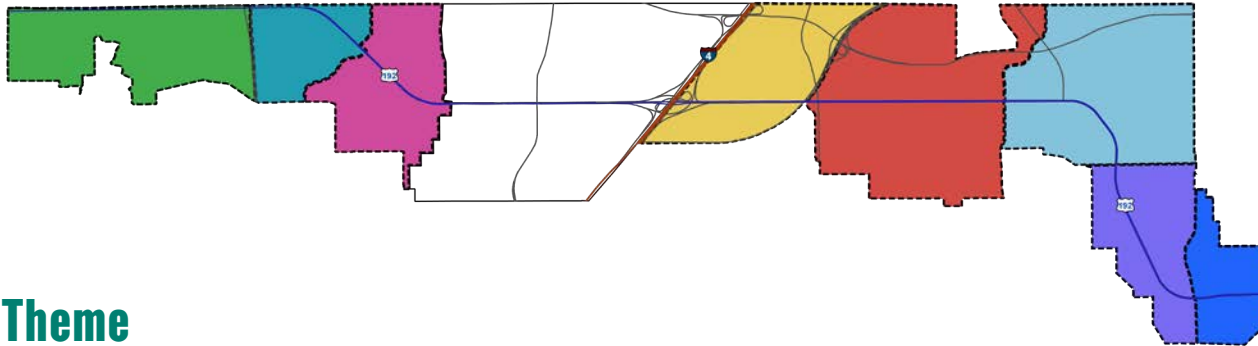
Turf grass or mowable  
groundcover



# Segment 2 *Paradise*

## Area

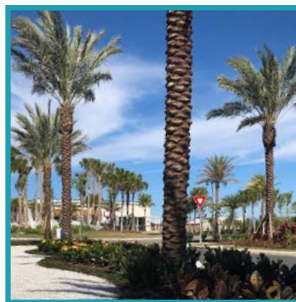
State Road 429 to Formosa Gardens Boulevard



## Theme

- » The tourist gateway into Osceola County
- » Simple buildings highlighting active public space with simple, yet fun site furnishings.
- » Bright, colorful landscape including mounded massings of tropical plants alternating with clusters of palm trees and strategically placed crepe myrtles for added color
- » Landscape Forms “Lakeside Leaf” bench and receptacle in teal

## Inspiration



### ENVISIONED USES

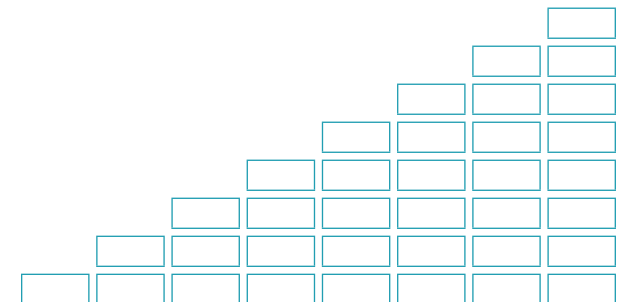
- Multifamily
- Mixed-Use
- Restaurant
- Small-Scale Hotel
- Large-Scale Hotel
- Entertainment
- Office

### ENVISIONED BUILDING SETBACKS

0-30'

### ENVISIONED BUILDING HEIGHT

(No maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Crepe Myrtle



Sabal Palm

### GROUNDCOVER

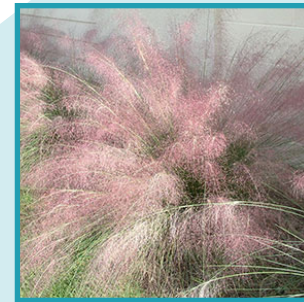


Asiatic Jasmine



Perennial Peanut

### ORNAMENTAL GRASSES



Muhly Grass



Fountain Grass

### SHRUBS



Pagoda



Red Azalea

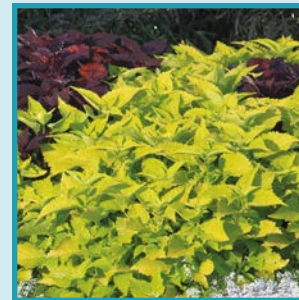
### PERENNIALS/ANNUALS



Variegated Century  
Plant



Bright Canna



Coleus (Lime and  
Red)

# Segment 2 *Paradise*

Standard W192, 10'-wide, meandering, colored concrete sidewalk

One-to-two story buildings in colors reminiscent of the beach

Distinctive clusters of street trees

Broad, sweeping, lushly planted mounds

Active public spaces oriented toward W192



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PRIVATE REALM

BUILDINGS

Landscape Forms "Lakeside Leaf"  
litter/recycling receptacle

Standard W192  
pedestrian light fixture

Landscape Forms  
"Lakeside Leaf" bench

Palm trees in  
clusters

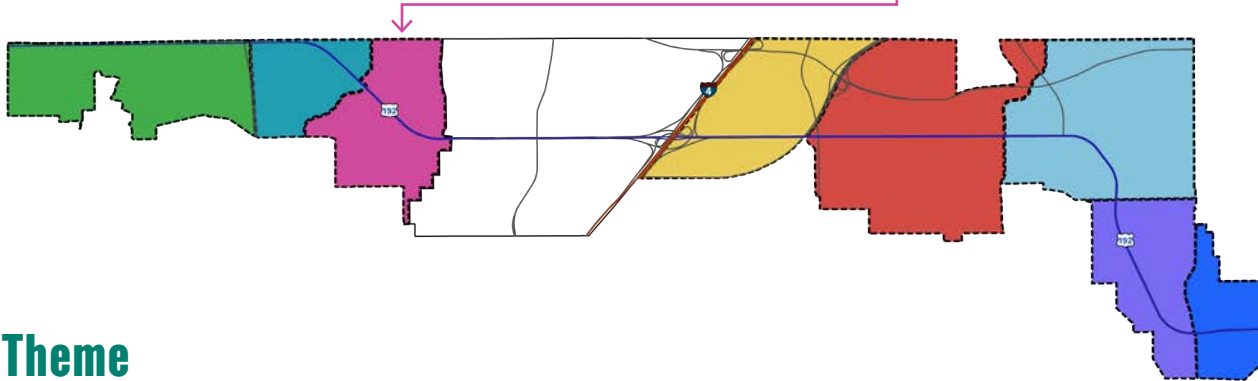


# Segment 3

## *Imagination*

### Area

Formosa Gardens Boulevard to Reedy Creek Boulevard



### Theme

- » Family friendly, destination-oriented hospitality, noticeable by large, themed entertainment signs
- » Eccentric, larger than life building forms inspired by local theme parks and adjacent tourist attractions
- » Bold landscape palette with playful sculptures, whimsical topiary, and public gathering spaces
- » Landscape Forms "Stay" bench and "Chase Park" litter receptacle in cranberry

### Inspiration



### ENVISIONED USES

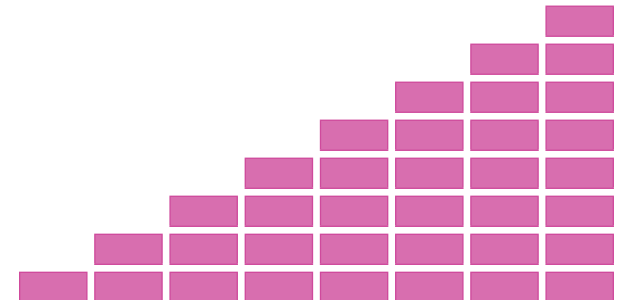
- Mixed-Use
- Restaurant
- Entertainment
- Neighborhood- or Small-Scale Commercial/Retail
- Small-Scale Hotel
- Large-Scale Resort

### ENVISIONED BUILDING SETBACKS

0-30'

### ENVISIONED BUILDING HEIGHT

(Eight story maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### (TOPIARY) TREES



Chinese Fringe



Taiwan Cherry



Sunshine Mimosa

### GROUNDCOVER



Cast Iron Plant



Liriope



Fountain Grass

### ORNAMENTAL GRASSES

### SHRUBS



Pink/Red Azalea



Dwarf Yaupon Holly

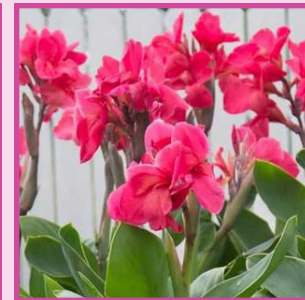
### PERENNIALS/ANNUALS



Pink Caladium



Colorful Hydrangea



Pink/Red Canna

# Segment 3 *Imagination*

Standard W192, 10'-wide, meandering, colored concrete sidewalk

Whimsical topiary planting

Pocket seating areas

Bold landscape palette with playful sculptures

Family-friendly, active spaces



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PRIVATE REALM

BUILDINGS

Landscape Forms "Stay"  
bench and "Chase Park" litter/  
recycling receptacle

Simplified  
bus shelter

Standard W192  
pedestrian light fixture

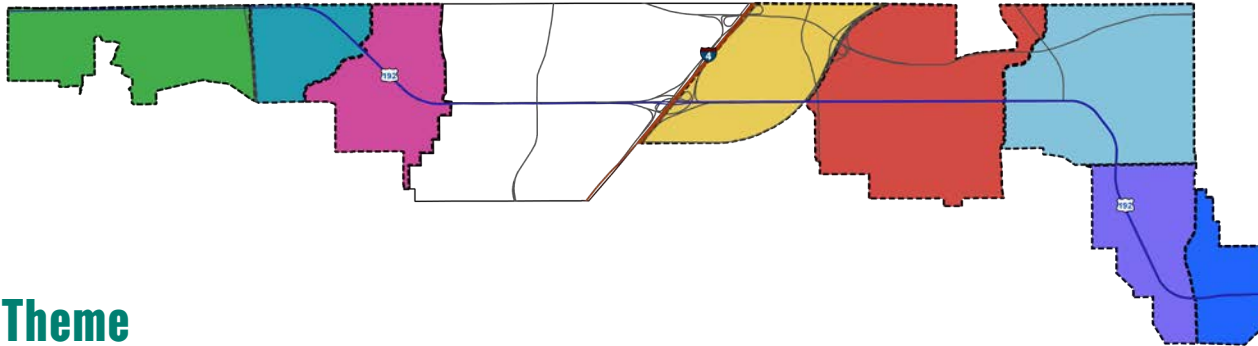
New W192 street  
light fixture



# Segment 4 *Celebration*

## Area

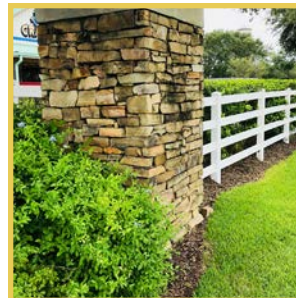
Interstate 4 to State Road 417



## Theme

- » Aesthetic, soft, vegetated tourist experience providing respite from the more vibrant elements in adjacent segments
- » Americana-style architecture with board and batten siding, metal roofs, pitched entry canopies, rooftop cupola details, and white post-and-rail fences with stone columns
- » Landscape characterized by deciduous tree canopy with broad, sweeping lawn, green, white, and pastel plantings, and selective pops of vibrant color at entries
- » Landscape Forms "Scarborough" bench and litter receptacle

## Inspiration



### ENVISIONED USES

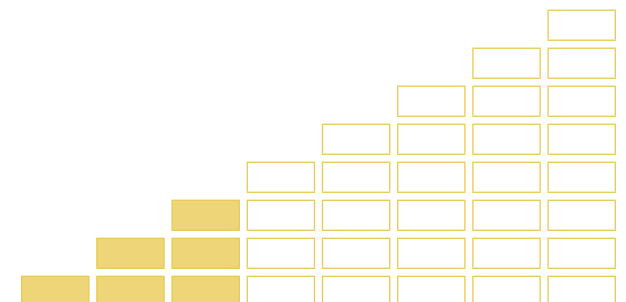
- Single-Family Attached
- Neighborhood- or Small-Scale Commercial/Retail
- Restaurant
- Small-Scale Hotel
- Entertainment

### ENVISIONED BUILDING SETBACKS

0-40'

### ENVISIONED BUILDING HEIGHT

(Three story maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Silver Buttonwood



Crepe Myrtle

### GROUNDCOVER



Gold Mound Sedum



Perennial Peanut

### ORNAMENTAL GRASSES



Purple Love Grass



Florida Gamagrass

### SHRUBS



Light Colored Azalea



Bay Cedar

### PERENNIALS/ANNUALS



Colorful Canna



Bromeliad Aechmea  
Distichantha



Red Coleus

# Segment 4 *Celebration*

Green shrubs with red accent plants

Large shade trees

Standard W192, 10'-wide, meandering, colored concrete sidewalk

White post-and-rail fence with large stone columns

Americana-style architecture featuring board and batten siding and metal roofs



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PRIVATE REALM

BUILDINGS

White, flowering, ornamental trees lining sidewalk

Landscape Forms  
"Scarborough" bench and  
litter/recycling receptacle

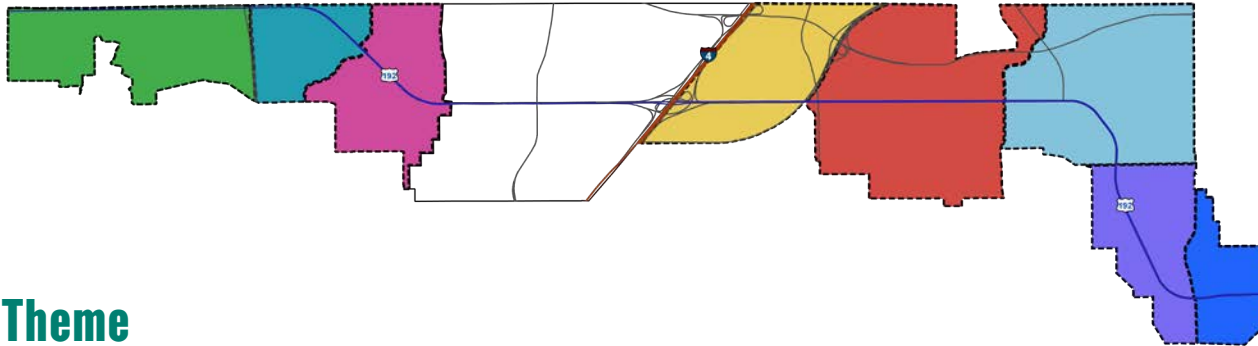
Standard W192  
light fixtures



# Segment 5 *Entertainment*

## Area

State Road 417 to Poinciana Boulevard



### ENVISIONED USES

- Multifamily
- Mixed-Use
- Restaurant
- Large-Scale Resort
- Entertainment

## Theme

- » Vibrant, lively, entertainment experience representing the tourist center of W192 with a concentration of amenities
- » Architecture characterized by bold-colored features and distinctive awnings
- » Landscape shaped by patio levels, terraced planters, clustered palm trees and larger than life potted plants
- » Landscape Forms "Strata" bench and "Multiplicity" litter receptacle in natural ecru

### ENVISIONED BUILDING SETBACKS

*0 - 20'*

Old Town

*0 - 40'*

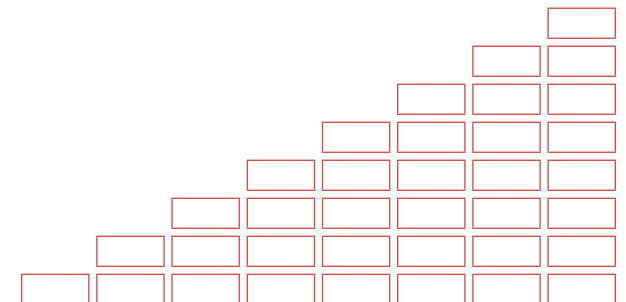
All Other Areas

## Inspiration



### ENVISIONED BUILDING HEIGHT

(No maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Chinese Fringe

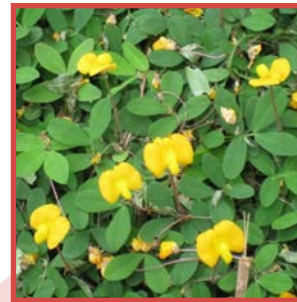


Sabal Palm

### GROUNDCOVER



Asiatic Jasmine



Perennial Peanut

### ORNAMENTAL GRASSES



Muhly Grass



Florida Gamagrass

### SHRUBS



Crepe Jasmine



Red Azalea

### PERENNIALS/ANNUALS



Silver Vase  
Bromeliad



White African Lily



Coleus (Lime and  
Red)

# Segment 5 *Entertainment*

Standard W192, colored concrete, multi-use path with in-ground lighting

Terraced planters and patios for variety in levels

Buildings set at the build-to-line to activate public space

Palm trees in clusters of three

Larger-than-life landscape planters



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PUBLIC PLAZA

BUILDINGS

In-ground lighting

Custom, entertainment-themed lighting

Landscape Forms  
"Strata" bench

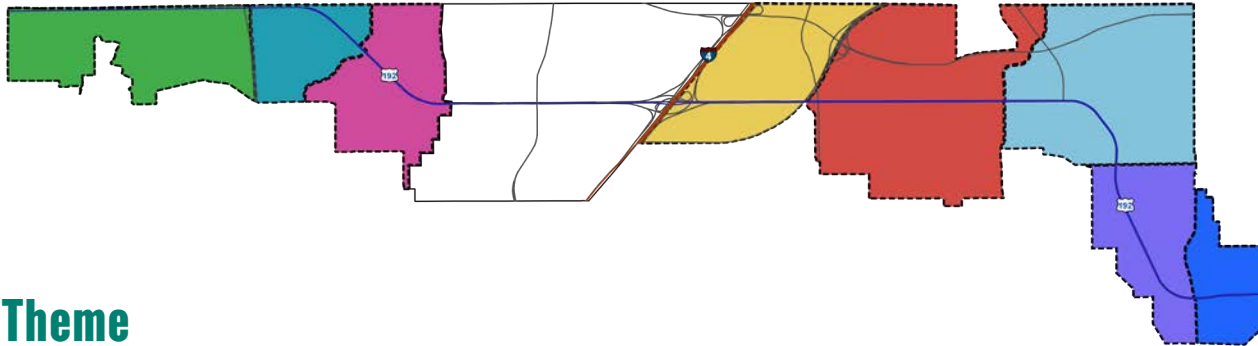


# Segment 6

## Lake District

### Area

Poinciana Boulevard to Lake Cecile Drive



### Theme

- » Mid- to high-density walkable neighborhood center with commercial spaces and active public places oriented toward W192
- » Broad, sweeping plazas with formalized, intermixed hardscape and landscape surrounding lake-themed development to mirror the area's lakes
- » An elegant palette of trees, shrubs, groundcover, and decorative pavers provide a transition from the public sidewalk to pedestrian-oriented plazas
- » Landscape Forms "Neoliviano" bench in wood and "Petosky" litter receptacle in silver

### Inspiration



### ENVISIONED USES

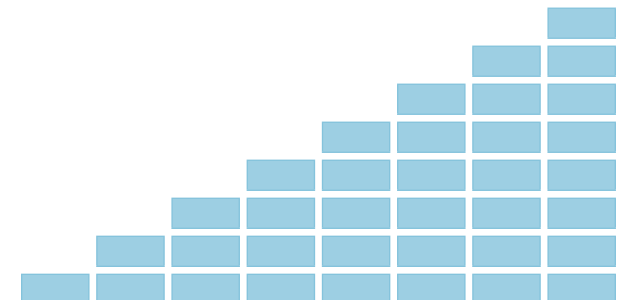
- Multifamily
- Neighborhood- or Small-Scale Commercial/Retail
- Mixed-Use
- Restaurant
- Small-Scale Hotel
- Entertainment
- Office

### ENVISIONED BUILDING SETBACKS

0-20'

### ENVISIONED BUILDING HEIGHT

(Eight story maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Paurotis Palm



Crepe Myrtle

### GROUNDCOVER



Gold Mound Sedum



Conradina

### ORNAMENTAL GRASSES



Liriope



Florida Gamagrass

### SHRUBS



Adams Needle



Bay Cedar

### PERENNIALS/ANNUALS



Variegated Hosta



Petunia



Dusty Miller

# Segment 6 *Lake District*

Simple, elegant plantings with raised planters to divide space between primary W192 sidewalk and public plaza space

Decorative paver transition zones between primary sidewalk and public plaza

Active public spaces oriented toward W192

Mid- to high-density housing adjacent to community commercial



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PUBLIC PLAZA

BUILDINGS

Landscape Forms "Neoliviano"  
bench and "Petosky" litter/  
recycling receptacle

Fountains and  
water elements

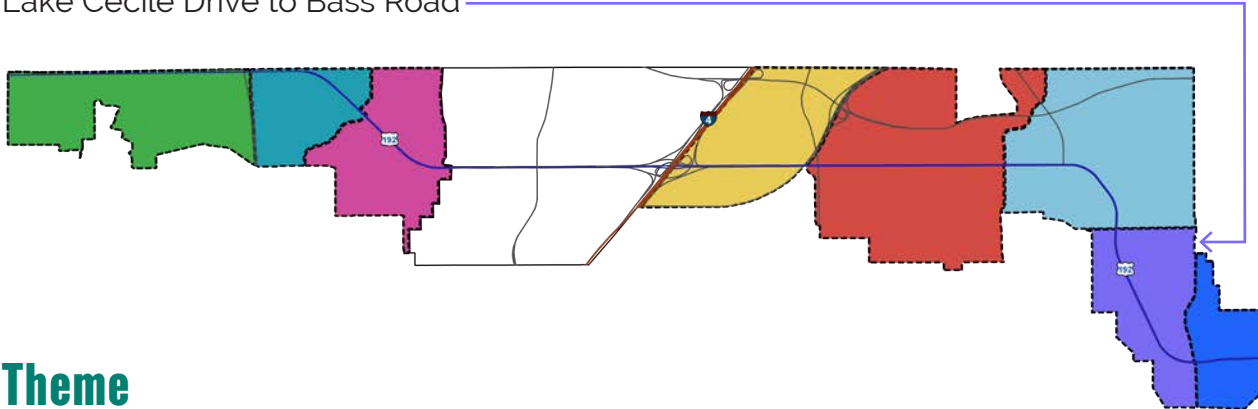
Standard W192, 10'-wide,  
colored concrete,  
multi-use sidewalk



# Segment 7 Neighborhood

## Area

Lake Cecile Drive to Bass Road



- ENVISIONED USES**
- Multifamily
  - Neighborhood- or Small- Scale Commercial/Retail
  - Mixed-Use
  - Small-Scale Hotel
  - Restaurant
  - Office

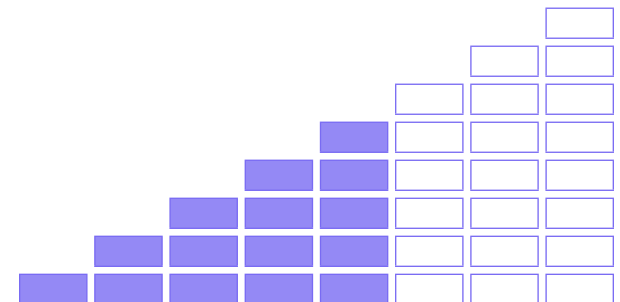
## Theme

- » Intimate neighborhood experience with pedestrian- and bike-friendly pathways linking homes to services and leisure
- » Eclectic, brownstone-style architecture similar to older neighborhoods in downtown Orlando
- » Residential-scaled, shrubs, trees, and groundcover to provide a pleasant pedestrian experience
- » Landscape Forms “Scarborough” weave pattern bench and litter receptacle in bronze

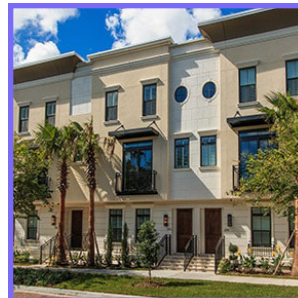
## ENVISIONED BUILDING SETBACKS

0-30'

## ENVISIONED BUILDING HEIGHT (Five story maximum)



## Inspiration



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Silver Buttonwood



Crepe Myrtle



Sunshine Mimosa

### GROUNDCOVER



Purple Queen

### ORNAMENTAL GRASSES



Purple Love Grass



Fountain Grass

### SHRUBS



Pink Azalea



White Hydrangea

### PERENNIALS/ANNUALS



Red Coleus



Variegated Hosta



White African Lily

# Segment 7 *Neighborhood*

Standard W192, 10' wide,  
colored concrete sidewalk

Groundcover planting  
along W192 roadway

Small, corner store plazas with  
Landscape Forms "Scarborough"  
benches and litter/recycling receptacles

Two- to three-story buildings  
with articulation, stepbacks, and  
small-scale projecting signs



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM

PRIVATE REALM

BUILDINGS

New W192 street  
light fixture

Residential-scaled  
plantings

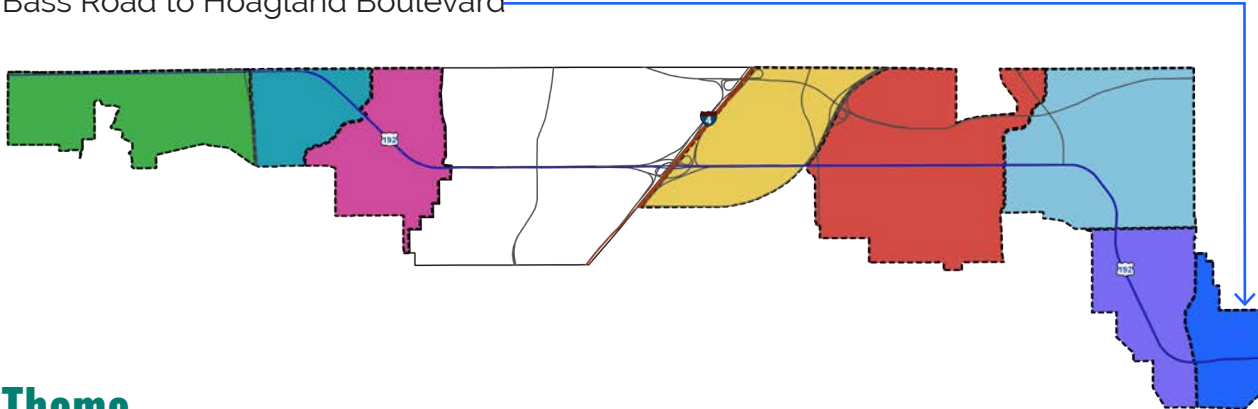
Brownstone-style  
townhomes



# Segment 8 Creek District

## Area

Bass Road to Hoagland Boulevard



## Theme

- » Gateway to the corridor from the east defined by buildings, landscape and public spaces inspired by the natural landscape and nearby Shingle Creek
- » Building forms to include wood, natural stone and other natural materials
- » Native landscape with ribbons of blue flowers bringing the creek setting into the commercial setting
- » Landscape Forms "Lakeside Grass" bench and litter receptacle in blue

## Inspiration



### ENVISIONED USES

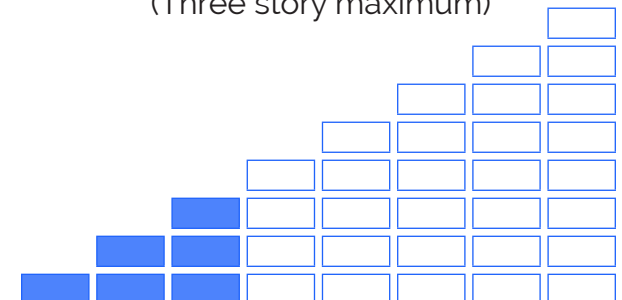
- Single Family Attached & Detached
- Mixed-Use
- Neighborhood- or Small-Scale Commercial/Retail
- Restaurant
- Small-Scale Hotel
- Large-Scale Hotel
- Entertainment
- Office

### ENVISIONED BUILDING SETBACKS

0-40'

### ENVISIONED BUILDING HEIGHT

(Three story maximum)



## Suggested Plant Palette

All images in this plant palette are provided as inspiration for desired color and texture. Please solicit local horticultural guidance when preparing planting plans.

### TREES



Paurotis Palm



Sabal Palm

### GROUNDCOVER



Gold Mound Sedum



Liriope

### ORNAMENTAL GRASSES



Fountain Grass



Florida Gamagrass

### SHRUBS



Buttonbush



Blue Hydrangea

### PERENNIALS/ANNUALS



Lavender



Blue Halcyon Hosta



Coleus (Lime Time)

# Segment 8 *Creek District*

Multi-use path to connect to creek trail

Natural materials worked into building facades to emphasize the creek theme

Distinctive clusters of street trees

Water-themed plaza at intersection of W192 sidewalk and creek trail connection

Native planting with blue accents to emulate the creek



+/- 40' PUBLIC RIGHT OF WAY - PUBLIC REALM      PRIVATE REALM      BUILDINGS

Landscape Forms "Lakeside Grass" bench and litter/recycling receptacle

Water-themed plaza

Trail signage and connection







# *Signage*

# Signage

## Monument Signage

### Relevant Land Development Code Sections

[Refer to Article 3.17.9, Section C-2.](#)

### Area

All sites fronting W192 between the western county line and Hoagland Boulevard; all sites fronting Osceola Parkway within the W192 Development Authority; all sites fronting SR 535, the Central Florida GreeneWay/SR 417 within the W192 Development Authority, and the International Drive Extension; and all other non-residential sites within the W192 Development Authority.

### Standards

- » Maximum of 100 SF
- » Required peripheral spacing of 50' between sign structures
- » One sign is allowed per site, unless site frontage exceeds 660'
  - » For sites over 660' up to two signs are allowed if they are 300' apart. Corner lots under 660' are allowed at least two monument signs with only one monument sign allowed on each of multiple frontages
- » Monument signs fronting W192 shall be located within 15' of the right-of-way
- » The top of the stone base of each monument sign shall be aligned between 1' and 5' above the crown of the roadway

#### MAXIMUM SIGN SIZE

100 SF

#### MINIMUM SPACING

50'

#### ABOVE THE CROWN OF THE ROADWAY FOR TOP OF STONE BASE

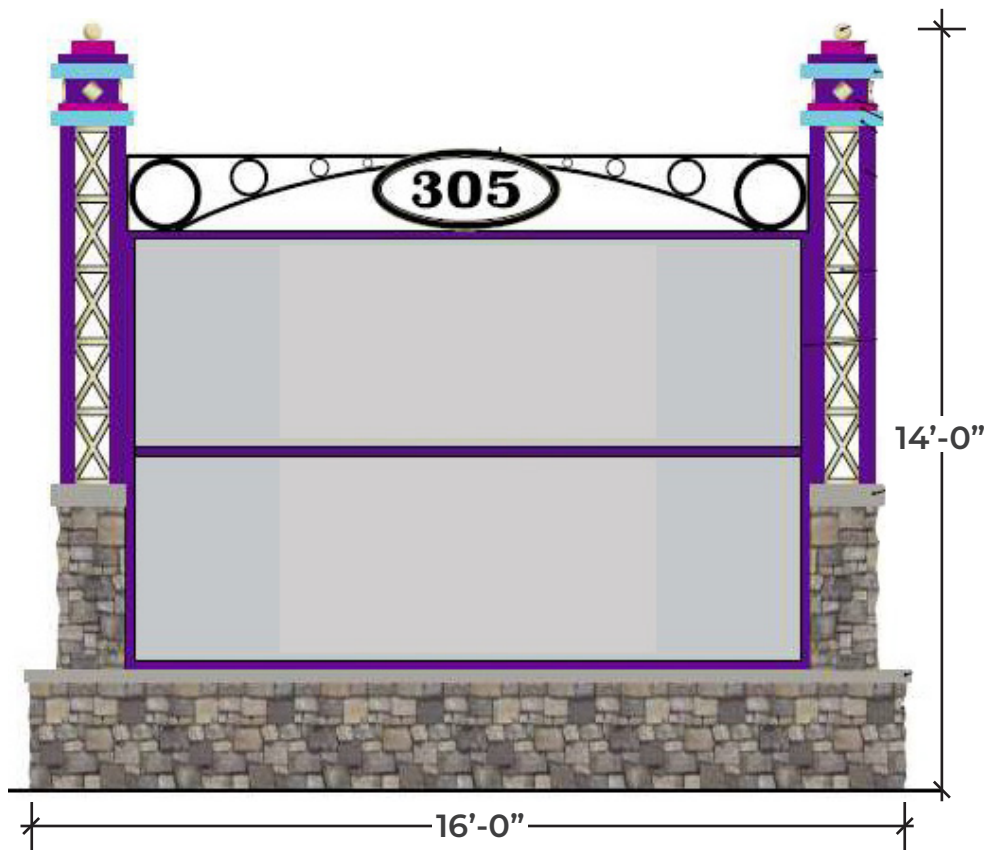
1 - 5'

#### SITE FRONTAGE OF <660'

1 sign

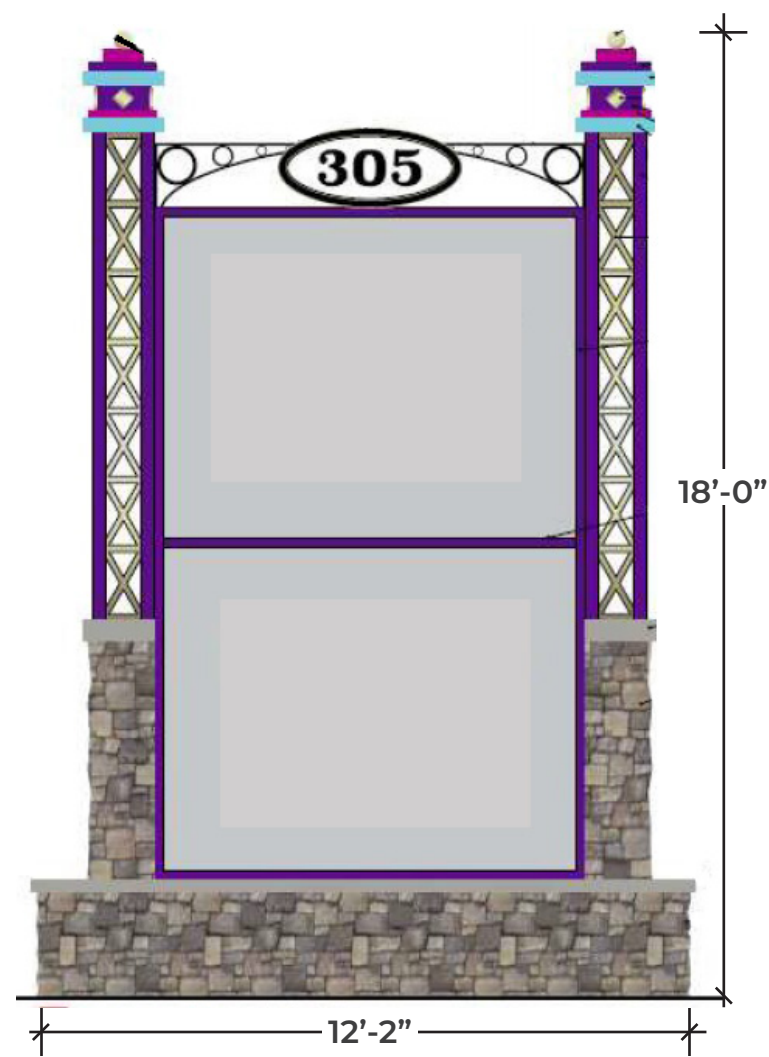
#### SITE FRONTAGE OF >660'

2 signs



**HORIZONTAL OPTION**

Standard Size (options for 150% and 200% can be found in the Land Development Code)



**VERTICAL OPTION**

Standard Size (options for 150% and 200% can be found in the Land Development Code)

# Signage

## *Monument Signage Continued*

### **Monument Sign Design Guidelines**

- » Must comply with design standards, materials and requirements
- » Signs should be generally centered within the street frontage, while on corner lot locations, signs should be located at the corner
  - » If two signs are utilized, each shall be located near the site's access points
- » Base construction shall be to the size and scale illustrated in the Land Development Code
- » One option shall be selected for all signs located on the same site

### **Copy Area Options**

- » The copy portion of each monument sign shall be designed to be durable, low maintenance, and easily detached and reattached upon replacement
- » LED electronic message centers may be incorporated within the allowable sign copy area, within the maximum overall size, and subject to LDC regulations
- » All signs shall utilize LED lighting
- » Lighting and sign background color must be consistent within signs
- » Street address can be illustrated as a range with a dash between numbers

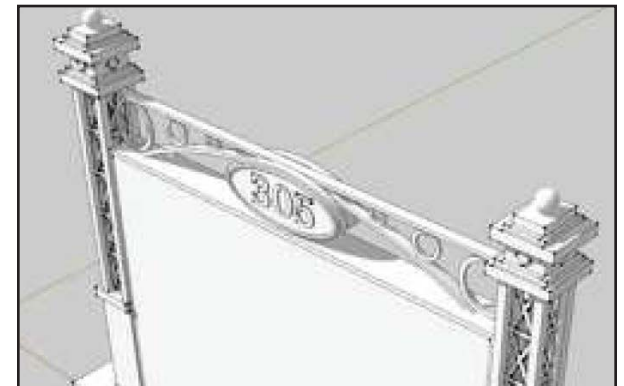
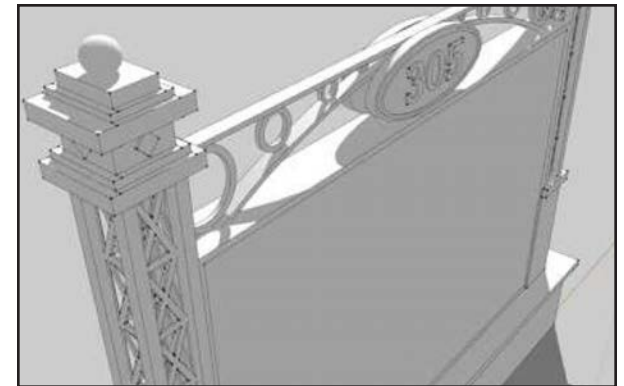
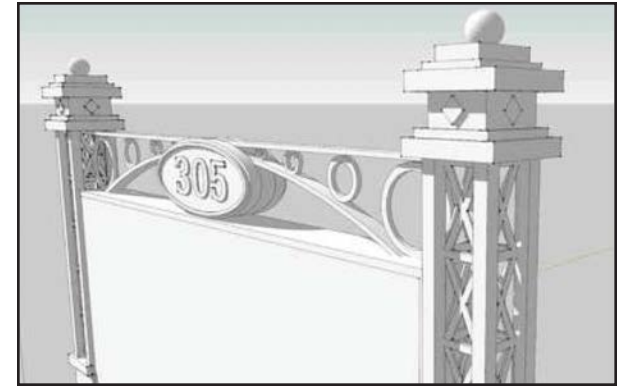
### **Multi-Tenant Monument Signs**

- » All signs for non-residential sites over 70,000 SF fronting W192, are allowed a larger sign up to 150% more than standard granted that it comply with design standards, materials and requirements
- » All signs for non-residential sites over 200,000 SF fronting W192, are allowed a larger sign up to 200% more than standard granted that it comply with design standards, materials and requirements



**SEGMENT 4, CELEBRATION SIGNAGE**

Mandatory color palette for all non-residential properties fronting the W192 Corridor that exist between SR 417 and I-4



**MONUMENT SIGN, 3-D VIEWS**

# Signage

## Miscellaneous Signage



### PROHIBITED SIGNS

Most pole or pylon signs

Banner signs, except during special events

Cold air inflatable balloons

Feather banner signs

Human signs

Most mobile or portable signs

### Land Development Code

Refer to Article 3.17.9, Sections C-1, C-4, C-5, and C-6

#### Area

Area includes all sites fronting W192 between the western County line and Hoagland Boulevard; all sites fronting Osceola Parkway within the W192 Development Authority; all sites fronting SR 535, the Central Florida GreeneWay/SR 417 within the W192 Development Authority, and the International Drive Extension; and all other non-residential sites within the W192 Development Authority.

#### Driveway Signs

- » Maximum 8 SF, 6' in height, and 2 signs per driveway
- » Located to provide clear sight lines at intersections

#### Wall Signs

- » Maximum sign area is 1 SF of signage per linear foot of building frontage
- » One sign is allowed for single tenant sites per building face, while multi-tenant sites can have one per storefront

#### Window Signs

- » Window signs cannot be over 25% of the window area it is placed on
- » Interior, merchandise displays without signage must not block more 50% of its window area
- » No permit is required for window signs

# Signage

## *Entertainment Signage*

### Relevant Land Development Code Section

[Refer to Article 3.17.9, Section C-3.](#)

### Objective

Entertainment Signs serve as an attraction in themselves, to upgrade and improve the aesthetic appearance for entertainment entities located within the W192 Corridor, and shall be designed with unique appearance, color, material, and technology as an extension of the property's building and site design, to promote a positive image inviting to tourists.

### Area

The allowable area for these signs is within non-residential sites from Segments 1 through 5 of the W192 Corridor (from the Osceola-Polk County line to the intersection with SR 535).

### Standards

- » Must be on parcels zoned Commercial Tourist (CT) or Planned Developments (PD) with Tourist Commercial land use designation
- » Limited to amusement or theme park; entertainment complexes; hotel/motel (large-scale); recreational facilities (commercial); marina; zoo uses
- » Entertainment signs require ARB approval
- » May be freestanding or building mounted
- » Materials of entertainment signs should be high-quality, low-maintenance, long-lasting, and compatible with the associated buildings and design of the site
- » Signs can utilize electronic copy designed and integrated in a cohesive way
- » Signs are not intended to be pole or pylon signs
- » Signs cannot be temporary in nature

#### MAXIMUM SIGN HEIGHT

50'

#### MAXIMUM STRUCTURE SIZE

672 SF

#### MINIMUM PARCEL SIZE

4 acres

#### SITE FRONTAGE OF <1,320'

1 sign

#### SITE FRONTAGE OF >1,320'

2 signs



The background features a multi-story building with a light-colored facade and several windows. A diagonal grey overlay covers the right side of the image. In the lower right, a sign with the text "DO NOT ENTER" is visible. The main text "Change of Use" is written in a large, teal, cursive font across the bottom.

# *Change of Use*

# CHANGE OF USE

## Overview

### Background

In 2021, the Board of County Commissioners imposed a temporary County-wide moratorium on certain changes of use from non-residential to residential, during which County staff and the County's planning consultant worked collaboratively to establish appropriate placing and standards for changes of use from non-residential to residential; and ultimately amended Chapter 3 of the Land Development Code, "Performance and Siting Standards" to establish appropriate placing and standards for changes of use from non-residential to residential uses in the County.

### Objectives

- » Ensure the safety of residents and tourists
- » Reviewing the suitability of locating multi-family residential uses along major transportation corridors
- » Provide adequate regulations to achieve its multi-faceted goals in supporting both residential and non-residential uses within the County
- » Establish suitable regulations to allow changes of use from non-residential to residential to ensure the health, safety and welfare of residents and tourists

### Relevant Code Sections

Any development proposing a change of use from non-residential to residential will need to follow the specific provisions of the Land Development Code found in the following subsections of Chapter 3 - Performance and Siting Standards:

- » [Section 3.1.1.G related to the definition of new development](#)
- » [Section 3.8.1 related to commercial uses](#)
- » [Section 3.16.2 regarding the W192 Development Authority Corridor](#)



# CHANGE OF USE

## *General Design Guidelines*

### Area

Residential buildings within the W192 CRA and areas located 300' or further from the W192 right-of-way between Formosa Gardens Boulevard and the western County boundary.

### Applicability

Any building or property proposing a change of the building or property's primary use (or adaptive reuse) from non-residential to residential.

### Building Articulation and Roof

- » Articulation elements should vary to reduce building mass and break up continuous wall surfaces
- » Building facades and volumes should vary, with no unbroken facade being longer than 30'
- » Building materials should be of stucco, brick, stone, finished concrete, wood or other comparable materials
- » First-floor heights should be a minimum of 12' in non-residential uses,
- » At the ground floor, a minimum of 60% of the wall area must include pedestrian entrances or transparent windows
- » Balconies should be a minimum size of 6' deep and 60 SF
- » Roofs should include multiple peaks, planes and/or distinctive forms
- » Rooftop equipment should be screened from view



**MASSING FACADE VARIATIONS**



**DISTINCTIVE ROOF FORMS AND BALCONIES**

# CHANGE OF USE *General Design Guidelines*

## Building Frontage and Entrance

- » All buildings must front a right-of-way (excluding an alley) or civic space
- » Buildings' primary entrances should be located on the facade facing the public right-of-way or civic space and should be architecturally detailed to draw visual interest to the entrance
- » A minimum 75% of the ground floor shall be non-residential, in buildings west of SR 535



### EXAMPLES OF DESIRED LEVEL OF FACADE IMPROVEMENTS (BEFORE AND AFTER)

*Bottom left image courtesy of The Lunz Group*

# CHANGE OF USE

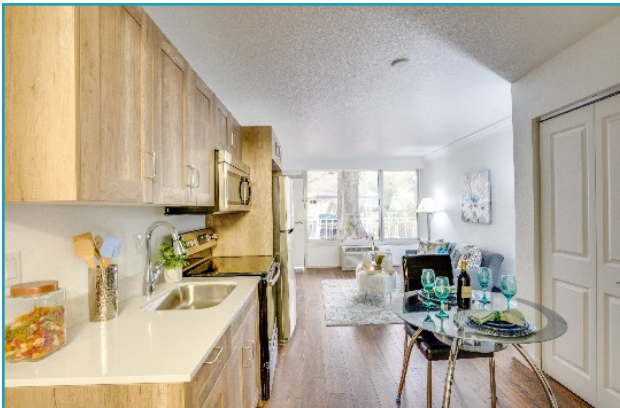
## *Project Approach and Methodology*

### Building Requirements

- » All building interiors should include standard multifamily residential living standards, including fully operable kitchens with sink, refrigerator, and stove/oven.
- » Each unit should have an individual electric meter, and an individual water meter or contraction is being contemplated.

### School Bus Stops

- » Should be coordinated with the Osceola County School Board.
- » Should be consolidated with shared access to adjacent or nearby residential buildings.



MINIMUM DEVELOPMENT INTENSITY

*1.0 FAR*

MINIMUM RESIDENTIAL DENSITY

*30 DU/Ac*

MAXIMUM DENSITY

*None*

MINIMUM BUILDING HEIGHT

*2 stories*

MAXIMUM BUILDING HEIGHT

*None*

# CHANGE OF USE

*Renderings*

Biofiltration Basin

Multifamily Residential Living

Climate-Sensitive Planting

Resident Parking

Pedestrian Promenade

Public Greenway and Trail



# CHANGE OF USE *Renderings*

Main Pedestrian Entrance  
with Public Art

Artistic Water  
Feature

Plaza and  
Flexible Seating Area

Commercial  
Conversion

Vegetative Buffer  
between Commercial  
and Residential Uses





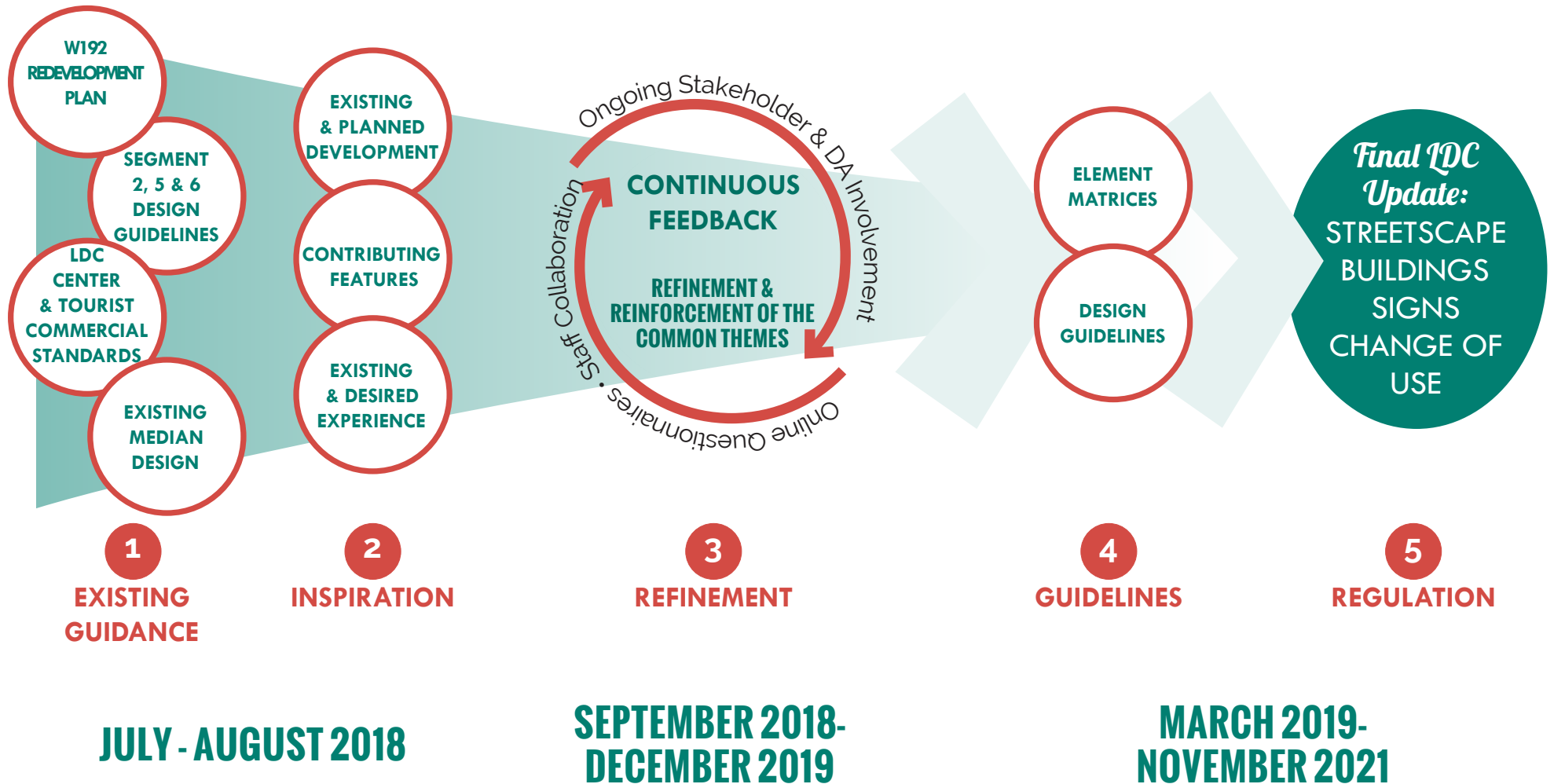


*Appendix  
Determining  
Our Themes*

This page intentionally left blank.

# W192 CORRIDOR

## *Project Approach and Methodology*



# W192 CORRIDOR

## *Guidance from W192 Redevelopment Plan*

The Design Guidelines sought guidance from previous efforts such as the 2015 W192 Redevelopment Plan and visioning completed in early 2018 for sections 2, 5 and 6 as described in the following pages.

### Redevelopment Plan Direction

The foundation for theming the corridor were set out by the W192 Redevelopment Plan. At the time the Plan was created, the Development Authority was contemplating 3 separate Segments that were later subdivided into 8 segments as shown on page 4.

### Redevelopment Plan Vision

**Leisure:** This area will be transformed into high-quality, vehicular-focused, retail centers, and neighborhoods oriented to residents and tourists.

**Destination:** A diversity and concentration of high-quality tourist uses oriented toward the largest market segment, while promoting a positive image inviting to tourists.

**Neighborhood:** a cohesive neighborhood business district consisting of a diverse mix of high-quality, market-rate housing, community-oriented services, and tourist-supportive uses.

Leisure: County Line to Interstate 4



Destination: Interstate 4 to SR 535



Neighborhood: SR 535 to Hoagland Blvd



# W192 CORRIDOR

## *Guidance from Existing Streetscape and Median Design Palette*

### Segment 5 Design Palette Photo Simulation



*Image provided by GAI Consultants*

### Segment 5 Roomba Redevelopment Proposal



In early 2018 a conceptual design palette was approved to provide streetscape enhancement opportunities for segments 2, 5 and 6.

The concepts provided a varied plant palette, updated paving materials, and updated site furnishings with slight variations in colors.

These elements were built upon to add complementary building standards for each of the segments. Additionally, as part of the W192 Redevelopment Plan, the existing Roomba site was re-imagined to transform it into a tourism destination. Due to its location within the W192 CRA, the property serves as a catalyst site utilizing W192 Development Authority and county planning assistance which included elevating the level of design and improvements and streamlining the development review process for the property owners.

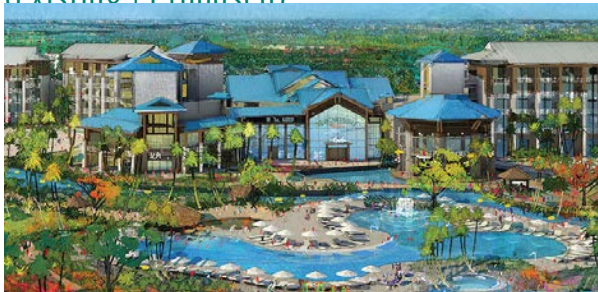
# W192 CORRIDOR

## *Determining our Themes*

Each segment was analyzed through the lenses of existing and proposed development (existing conditions) and envisioned through imagery workshops where staff and stakeholder used photos to describe the desired experience. The selected imagery served as the foundation from which the design guidelines were formed.

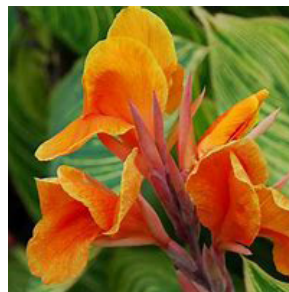
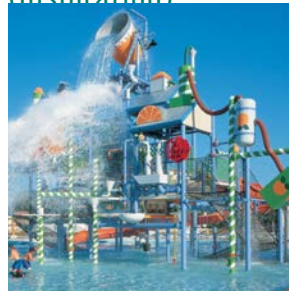
### Development

(Existing + Proposed)



### Imagery

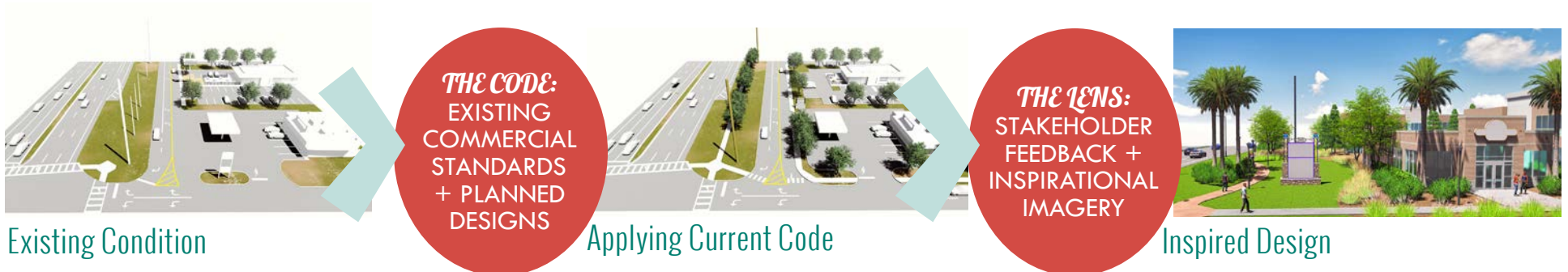
(Inspiration)



### Desired Experience



The next step in determining our themes was to apply the imagery from the visioning effort described on the previous page to specific sites within each segment and start to define unique characters for each segment. This included the development of sketches and 3-D models to assist in visualizing how each segment would look in three different conditions: existing, per the current code, and with the applied inspired design.



Promenade Shops

Osceola County's W192 Development Authority works to enhance the function and aesthetics of the West 192 Corridor Community Redevelopment Area (W192 CRA).

For more information, please contact the County CRA Director, [Christina.Morris@Osceola.org](mailto:Christina.Morris@Osceola.org) | 407-742-4207.



**OSCEOLA**  
COUNTY



**RENEW192**

